

HAZELBAKER CONSTRUCTION SERVICES
8965 QUARRY DRIVE
NAPLES, FLORIDA
(239)213-8046

Doc #: 1412-000
Dwelling Address: 123 Sunshine Way # 204, Estero, Florida 33928
Client Name: John Doe
Inspector: Joel Hazelbaker, **Licensed Florida State Home Inspector: License No. HI874**

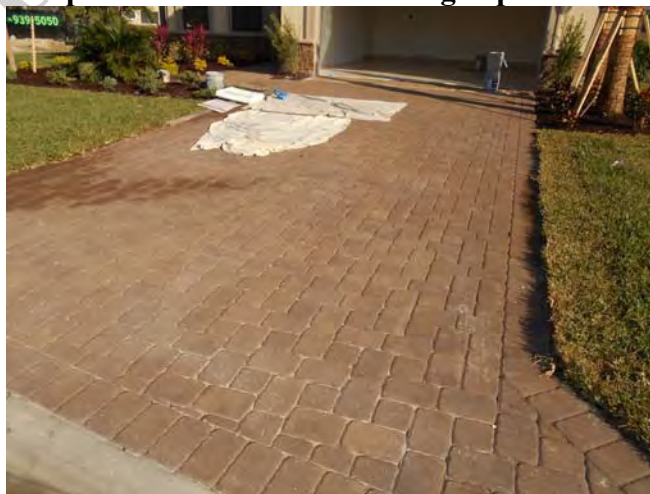
This Summary Report includes the structural and mechanical items that are not performing their intended function, are a safety concern, and/or features in the home considered inconsistent with common findings in homes of similar age and type. These items are not necessarily required to be repaired/replaced according to your Contract of Sale. We advise our clients to discuss any items relating to their contract with their real estate agent or attorney.

The Summary Report does not include comments that refer to normal wear or minor defects commonly found in homes of similar age and type; nor does it include comments about routine maintenance of the systems in the home. Minor items will be noted; these are items that can be easily repaired or that individually represent a minor repair cost. These minor items should not affect the sale of the property individually and as such may not be included in the summary report. Collectively these items may present a burden. Items noted in **"BOLD BLACK PRINT"** may pose a possible safety hazard, represent a substantial cost to repair/replace, or may cause additional damage to the structure if not properly addressed. Please read the report in its entirety and contact the inspector with any questions or concerns.

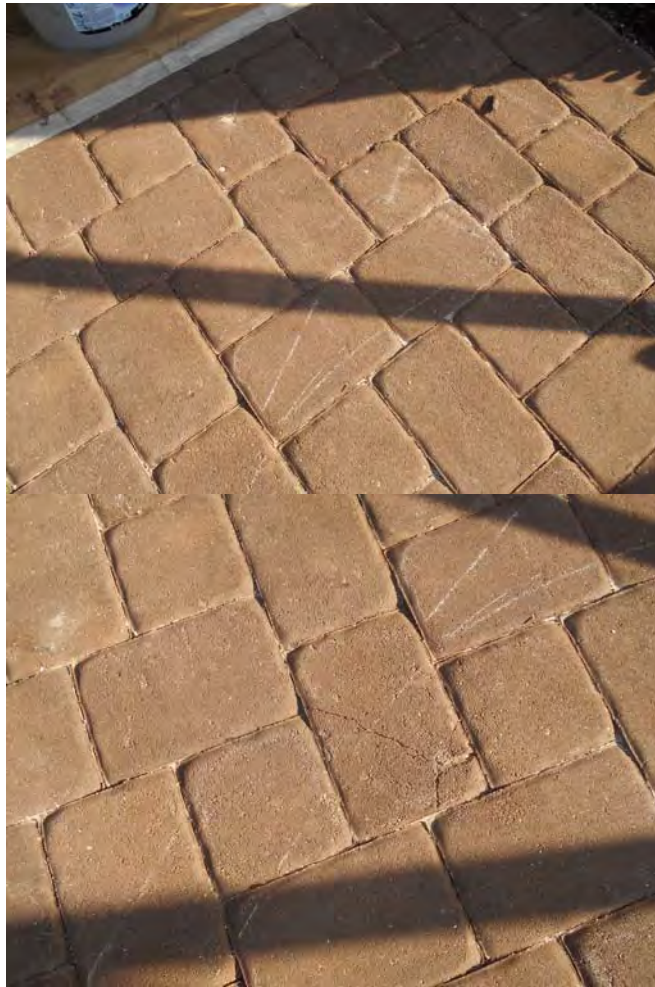
The Summary Report does not constitute our entire report and may not include all the items a client may consider important to home ownership, therefore, the client is advised to read the Inspection Report in its entirety.

EXTERIOR

1101. Driveway **Review; Brick. Brick requires cleaning of construction debris and paint at all locations. Damaged pavers should be replaced.**



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1102. Walkways

Review; Brick. Brick requires cleaning of construction debris and paint at all locations.



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1104. Siding

Review; Stucco/Stone. Stone requires cleaning of construction debris and paint at all locations. Gaps in stone noted; suggest proper installation of stone to reduce gaps.



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Defects in stucco noted at some locations. Proper repairs required.



Cracking noted.



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1105. Trim

Review; Wood/Metal. Paint overspray present. Paint and construction debris should be cleaned off exterior trim and other building components as required.



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1106. Windows &
Frames

Review; Metal. Damage to frames noted inside and out. All windows/Doors should be repaired or replaced as required.



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Cleaning of glazing and frames required at all locations both inside and out.



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Screens dirty and glass not cleaned; screens should be removed and cleaned and replaced after final cleaning of windows/Frames.



Frames/Tracks and thresholds should be thoroughly cleaned of construction debris.



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1110. Sprinkler
System

Review; Sprinkler head conflicts with gate at right side; suggest relocating head.



1113. Lot/Grade
Drainage

Review; Construction debris present around the site that should be removed.

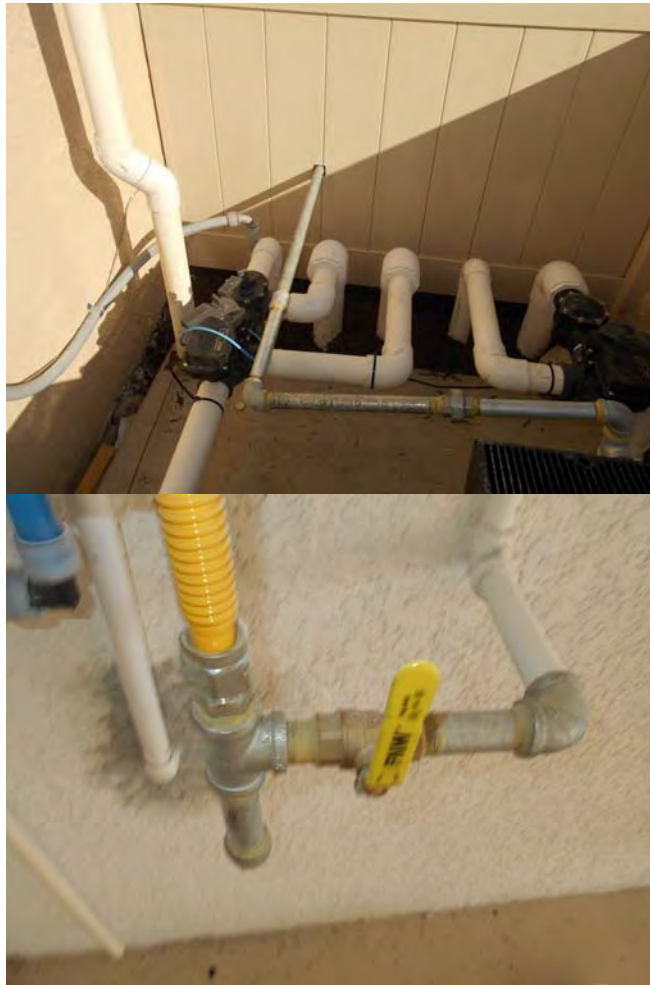


1114. Propane
Tank/Gas
Meter

Review; All gas piping should be properly painted to prevent corrosion.



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1120. Exterior
Comments

Review; The finish quality of this home was very poor. Home was not ready for an inspection as no prior punch out was completed and no rough cleaning was done. Additionally radon testing and mold air sampling was requested and could not be completed due to violation of protocols; both the front and rear doors had been left wide open for an extended period of time.

Defects were too numerous to fully document in a home inspection report. The items noted in this report give an indication of the types and locations of a random sampling of the defects required to be corrected.

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Blue tape was placed inside the home at various locations to help guide the builder as to type and extent of repairs required. See family room comments for more details.



Review; Suggest relocating vegetation that will contact or overhanging the home at maturity.



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Dead or dying material should be replaced.

**LANAI**

1202. Cover

Review; Ceiling needs to be repaired and repainted.



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1203. Enclosure

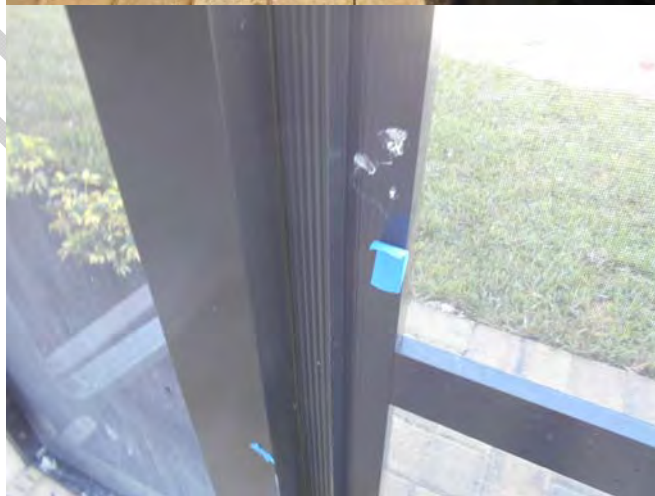
Review; Aluminum and screen. Damage noted at frames in several locations.



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Paint should be cleaned from frames/screens.



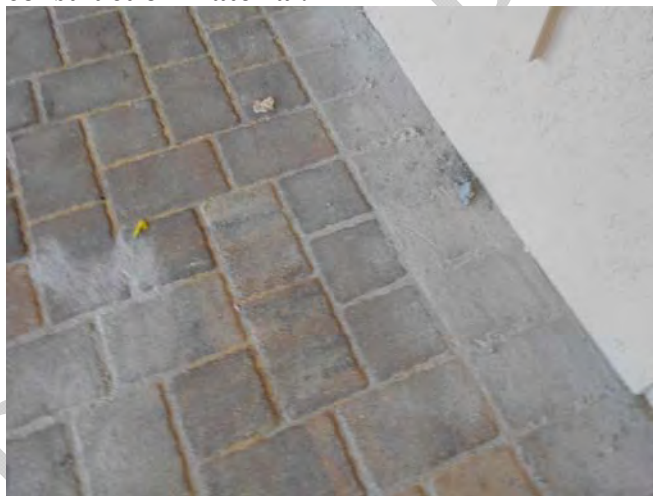
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Door binding and will not close normally.



1207. Deck

Review; Brick. Decking requires cleaning of debris /paint and construction material.



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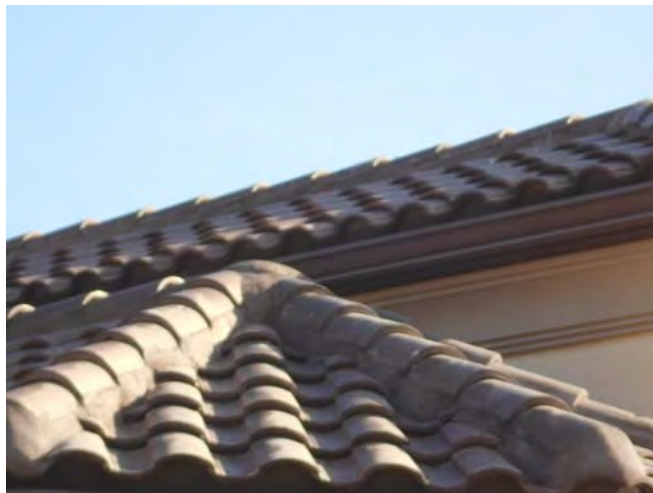
ROOF

1308. Roof
 Comments

Review; Due to the construction of the roof, a valley is noted where water will accumulate during heavy rains. Suggest increased routine inspection of this area to monitor for leaks.



Review; Cleaning of all roof tile required. Paint over spray and construction debris noted.



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GARAGE

1502. Floor/Slab

Review; Concrete. Floor and walls need cleaned of construction debris and patched as required.

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Paint on fixtures and equipment should be properly cleaned.



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1508. Interior Door **Review; Metal/Wood. Door is damaged and sill needs cleaned.**



Trim not properly completed.



1511. Walls **Review; Patching/cleaning and repainting required throughout.**



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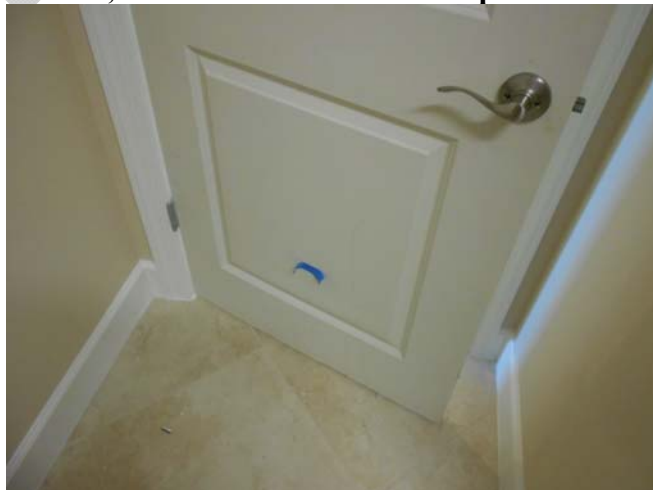
1516. Garage
Comments

Review; Cleaning of electrical panel and devices required.

**LAUNDRY AREA**

1604. Interior Doors

Review; Wood. Door has not been painted.



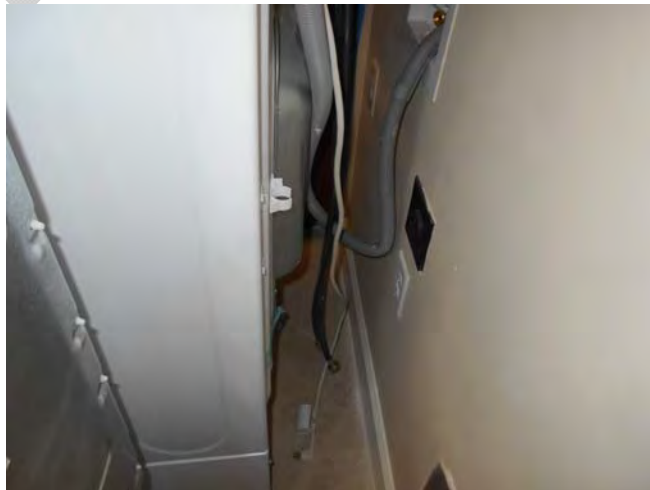
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1605. Exterior Doors **Review; Wood/Metal; door damaged.**

1607. Cabinets **Review; Scratches noted. Trim not completed.**



1610. Washer & Hook-ups **Review; Washer was not connected at the time of inspection and could not be tested.**



Review; Cleaning laundry box and behind equipment required.

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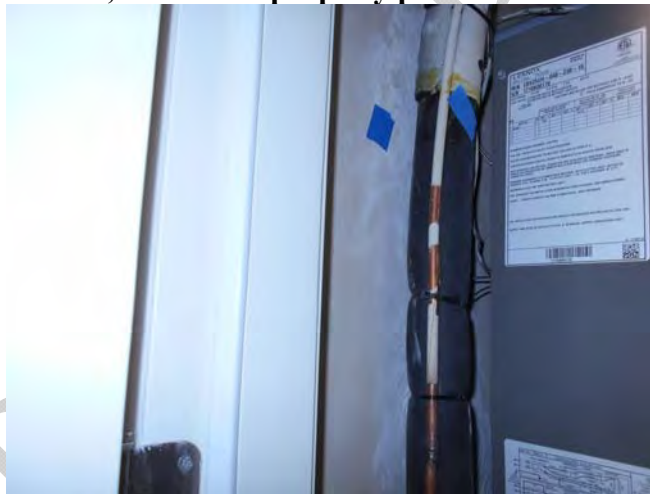
1612. Dryer & Hook-
 ups

Review; Gas; 110 volt. Dryer was not connected at the time of inspection and could not be tested.



1615. Closet

Review; Closet not properly painted.



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HEATING & A/C

1803. Heater
 Manufacturer

Review; Unit and components should be cleaned of paint and other debris.



1806. Filter

Review; Located at the unit. Home was not even broom clean at the time of inspection and construction dust/debris not protected from return air locations. Ductwork should be cleaned and filter replaced after final cleaning completed.

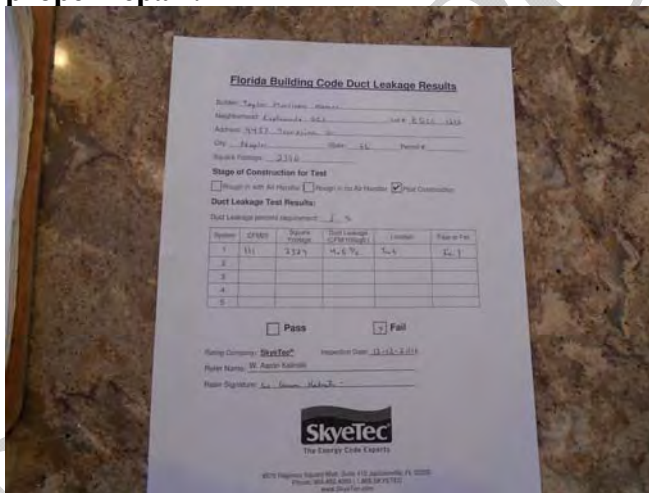


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1807. Ducting

Review; Ducts failed leak test. Suggest review with builder on proper repair.

1810. A/C
Temperature
Differences

Review; return air temperature at register was 72 degrees. Supply air temperature was 59 degrees. Difference in air temperature at time of inspection was 13 degrees. Temperature difference was not within the 16 to 22 degrees normal operating range at time of inspection. System may not have been properly charged with refrigerant or is not functioning properly; service required.

1811. Heating & A/C
Comments

Review; Builder to provide proper air balancing of system after home is occupied. Proper air balancing will eliminate hot and cold spots in the home.

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PLUMBING

1907. Water Heater
Thermostat
Settings

Review; Gas was off to this unit. Hot water unit and fixtures could not be tested.

**KITCHEN**

2102. Walls

Review; Touch up painting required throughout.



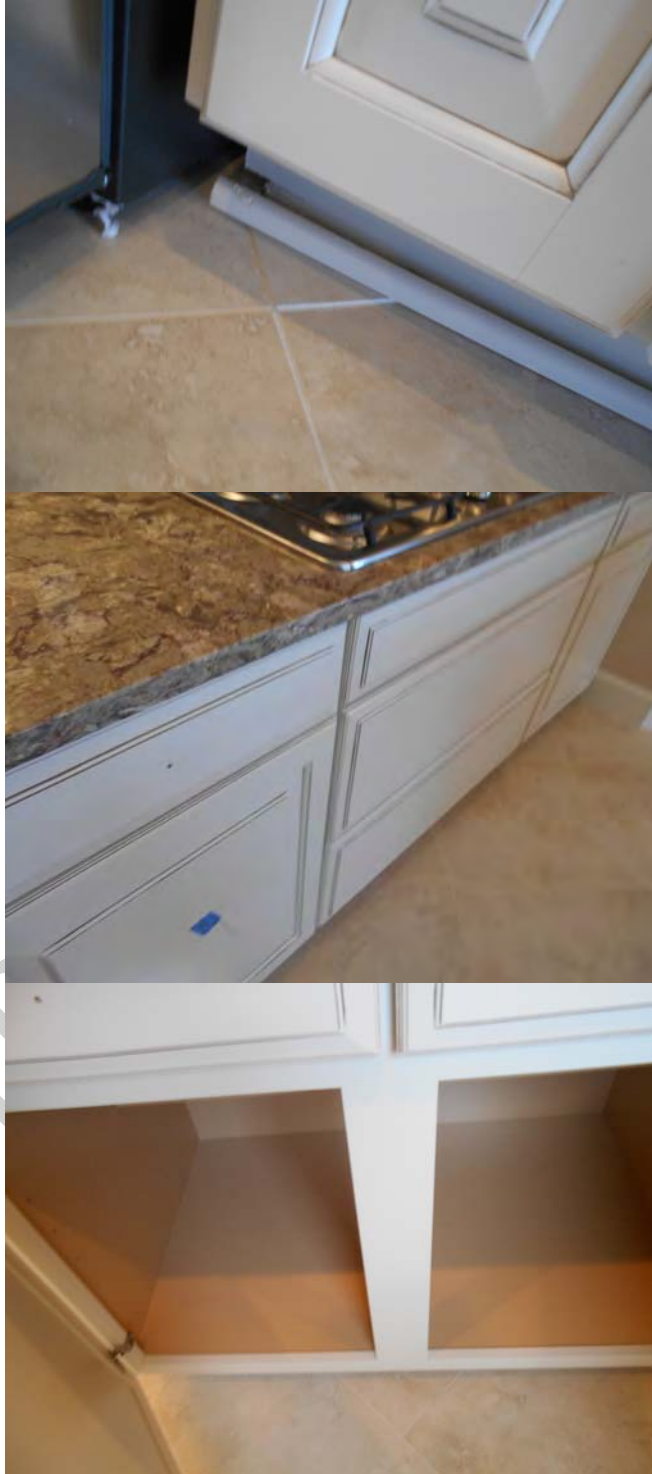
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2105. Exterior Doors **Review; Exterior doors damaged and need properly repaired or replaced. Tracks require cleaning.**



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2107. Cabinets

Review; Cabinet installation incomplete. Loose trim; missing pulls; missing shelving noted.

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Widespread damage noted on cabinets.



2114. Dishwasher

Review; Washer door conflicts with cabinets and does not close normally.



2119. Refrigerator

Review; Water dispenser inoperable at the time of inspection.

Refrigerator rolling freely needs to be properly installed.



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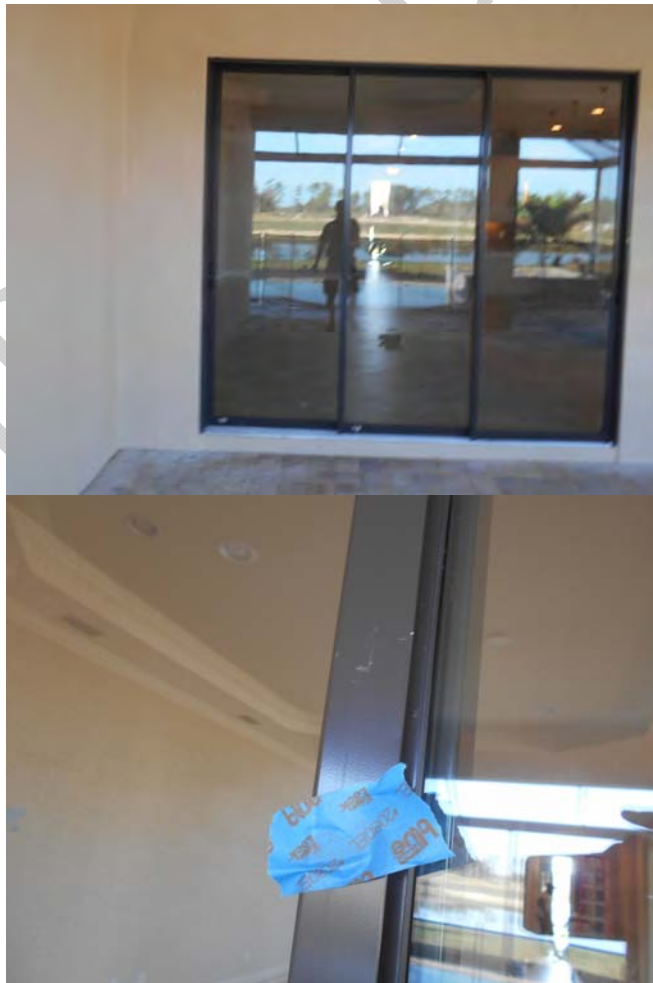
2125. Kitchen
Comments

Review; Tile backsplash uneven.

**FAMILY ROOM**

2205. Exterior Doors

Review; Aluminum sliding glass. Widespread damage noted at these doors. Doors need properly repaired or replaced. Tracks need cleaned.



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2212. Comments **Review; Finish quality of the home is very poor. Items requiring repair are too numerous to list individually. Blue tape was placed at many areas requiring repair. Not all areas marked due to vast numbers or repairs required but marked areas should provide guidance as to quality expected. Repairs include but are not limited to the following:**

Paint on flooring; cabinets and other fixtures and devices;



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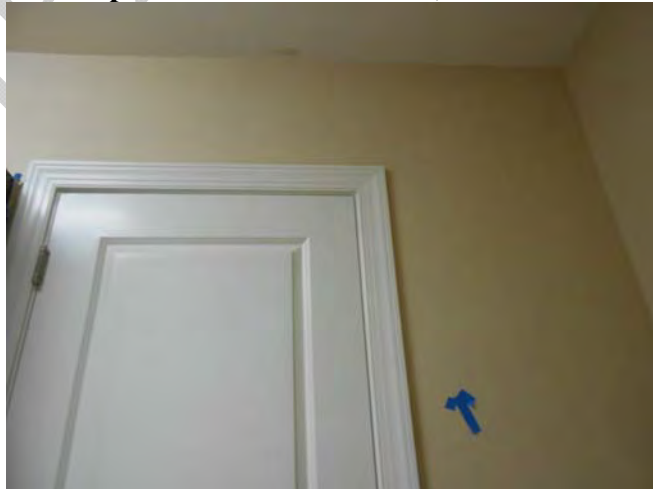
Damaged doors present and improperly completed wood work present;



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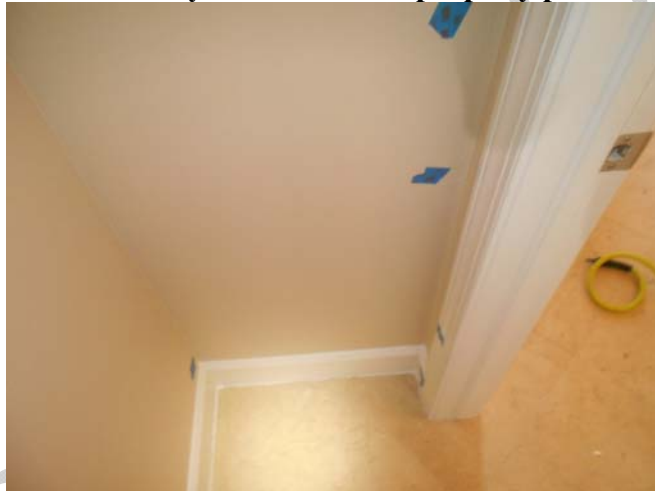
Ceilings in most rooms have repairs requiring the entire ceiling to be repainted in each location;



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Numerous drywall defects/ improperly painted area present;



Open gaps in woodworking;



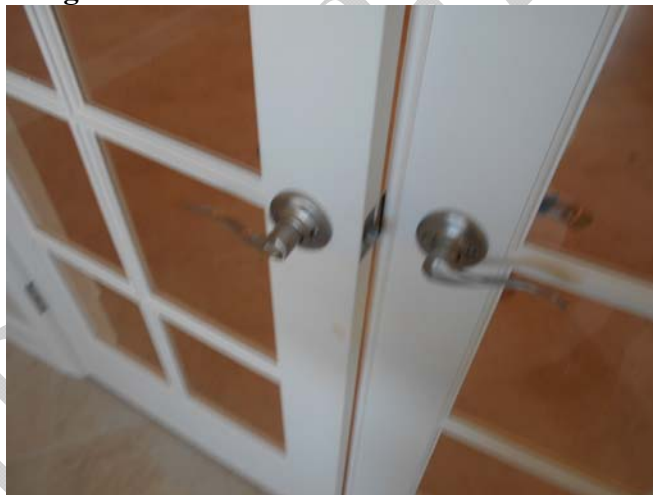
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Improperly finished doors and trim;

**DEN**

2404. 1. Interior Doors

Review; Wood/Glass, French. Door is binding and will not close using normal force.



2406. 1. Windows /
Screens

Review; Single Hung. Screen missing at one location.

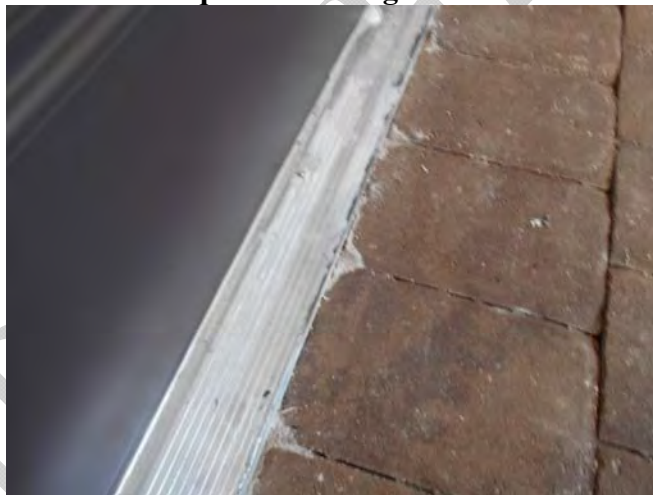
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ENTRY

2504. Exterior Doors **Review. Wood/Metal/Glass, with side lite. Door missing weather stripping. Cleaning and final painting still in progress.**



Threshold requires cleaning.



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BATHROOM MASTER

2701. Floor

Review; Damaged tile noted at toilet.

2702. Walls

Review; Water damage noted at toilet room with standing water present; proper water damage protocols should be followed which includes removal of finish materials and proper drying prior to repairs.

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2713. Shower /
Surround

Review. Tile. Tile needs properly cleaned.

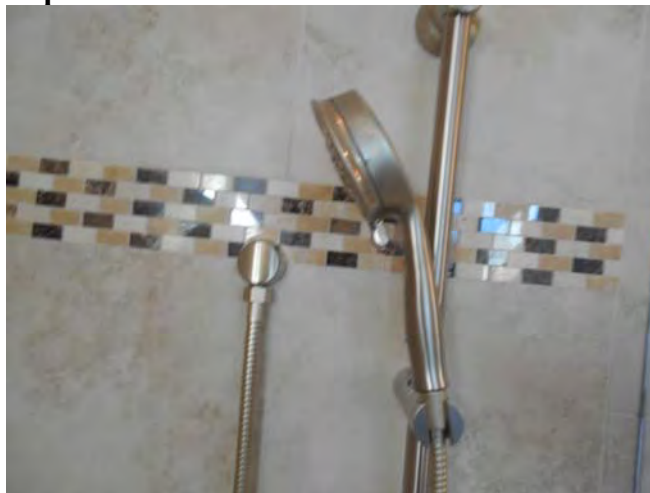


Improperly installed tile noted.



2716. Shower Faucet

Review; No water coming out of shower heads; leaking present at toilet room wall indicating leak in wall. Immediate repairs required.



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2724. Bathroom **Review; Towel bars and toilet paper dispensers not installed.**
Comments

GUEST BATHROOM RIGHT

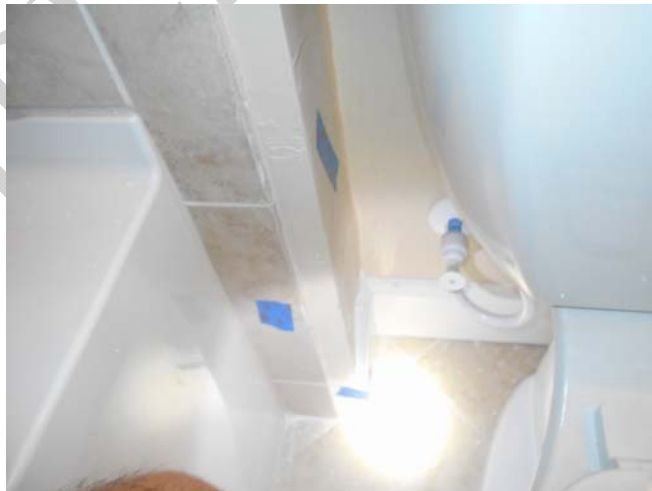
2814. Shower / **Review; Tile. Tile requires cleaning.**
Surround



2824. Bathroom **Review; Towel bars and toilet paper dispensers not installed.**
Comments

GUEST BATHROOM LEFT

2802. 2. Walls **Review; Poor finish quality and improper installation of**
baseboard noted.



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2811. 2. Tub &
Surround

Review; Tile. Remove paint from tile and properly clean.



2824. 2. Bathroom
Comments

Review; Towel bars and toilet paper dispensers not installed.

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BEDROOM RIGHT

2907.2. Electrical

Review; Loose coaxial outlet noted.**BEDROOM LEFT**2906.3. Windows /
Screens**Review; Single Hung. Sash springs loose at one unit.****POOL/SPA EQUIPMENT & AREA**

3002. Decking

Review; Brick. Cleaning required.

3015. Timer System

Review; Set up for remote control but remote not present and could not be tested.

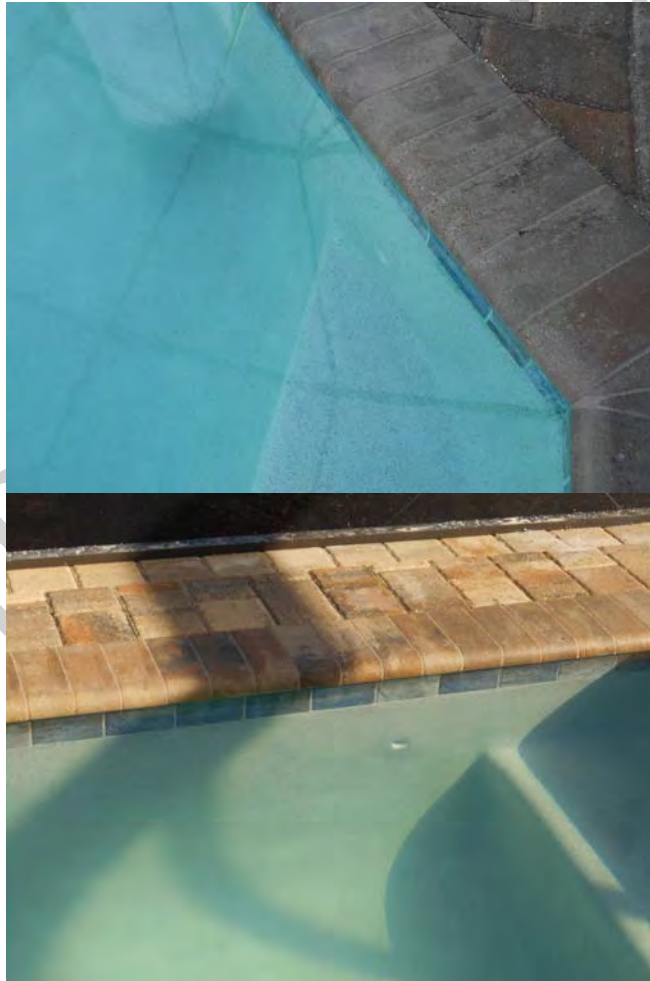
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3016. Pool/Spa
Comments

Review; Skimmer door not properly installed.



Trim not installed at inlets.



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Main drain cover missing at spa.



Spa emptied when put in spa function and pool overflowed; pool not properly set up and not all equipment installed properly. Pool installation incomplete.



Builder to instruct owner on proper operation of pool equipment (pool school).

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GENERAL COMMENTS

3101. General **Review. Finish quality of the home was poor. Key marks and blue tape placed to indicate areas for repair. Not all areas could be reached and the entire home should be reviewed and repaired as needed.**
- Finish needed at exterior and paint should be cleaned off of all fixtures and devices.**
- Change filters at all locations and clean ductwork and equipment of construction dust and debris.**
- Shutters map and fasteners for opening protection.**
- Instruct owner in proper operation of the pool and equipment (Pool school).**
- Builder to supply the following at closing:**
- Spare painting and flooring materials for future repairs/replacement.**
- One set as-built drawings.**
- Survey.**
- Elevation certificate.**
- One complete set of owners and operation manuals for all equipment and appliances.**
- List of all subcontractors and suppliers.**
- Warranties covering labor and materials on the home and all equipment installed.**
- Three sets of keys and remotes.**
- Wind compliance information as required for insurance**
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3102. General

The term **Review** when stated in this report is defined as having a licensed professional review possible cause of a given defect and remedy both cause and effect. For example: Wood decay at a section of baseboard may be noted in a report. Patching the baseboard is an incomplete remedy. Review should be made of the cause of the decay and repair to both the cause and all affected areas is required. Water damage typically requires removal of finishes to determine extent of damages. Water damage may be accompanied by mold growth and possible termite activity.

It is not the responsibility of the inspector to determine cause or remedy as the inspector is limited to a visual inspection of such areas and cannot remove or alter the home in any way to explore possible cause.

It is also suggested that a complete review of all like areas in the home be examined for similar issues as not all areas of concern may be visible at the time of inspection.

Licensed Florida Home Inspector:
State License No. HI874
Expiration: 7/31/2018



Joel Hazelbaker
Member of International Association
of Certified Home Inspectors
Florida Inter NACHI No. 10111110

Cell Phone: 239-213-8046

